

GENERAL NOTES
 RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12". THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 ALL RECHARGER 280HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

(DRYWELL) SYSTEM DESIGN
 1,220 S.F. OF IMPERVIOUS AREA OVER 30% ALLOWABLE
 2 GALLONS OF STORAGE REQUIRED PER S.F. OF IMPERVIOUS AREA
 1,220 * 2 GALLONS = 2,440 GALLONS REQUIRED (327 C.F.)
 - 1 CULTEC RECHARGER 280HD STORMWATER CHAMBER = 42.55 C.F.
 STONE VOLUME AROUND RECHARGER
 - ((8.0ft. x 4.92ft. x 3.21ft.) = 42.55 C.F.) x 0.40 = 39.8 C.F.
 TOTAL SYSTEM CAPACITY = 42.5 C.F. + 39.8 C.F. = 82.3 C.F. x 4 CHAMBERS
 329 C.F. > 327 C.F. = SATISFACTORY
 (REAR ROOF DRAINS COLLECTS ±1,307 S.F. OF ROOF AREA)

GREEN STRUCTURE DRYWELL DETAIL

IMPERVIOUS COVERAGE CALCULATIONS

EX. IMPERVIOUS COVERAGE	
EX. DWELLING	= 2,448 SQUARE FEET
EX. DRIVEWAY	= 725 SQUARE FEET
EX. WALKWAYS	= 324 SQUARE FEET
EX. PATIO	= 870 SQUARE FEET
TOTAL	= 4,367 SQUARE FEET

PROP. IMPERVIOUS COVERAGE	
EX. DWELLING	= 2,448 SQUARE FEET
EX. DRIVEWAY	= 725 SQUARE FEET
EX. WALKWAYS	= 324 SQUARE FEET
PROP. POOL & COPING	= 540 SQUARE FEET
PROP. POOL EQUIPMENT	= 15 SQUARE FEET
PROP. PATIO	= 540 SQUARE FEET
TOTAL	= 4,592 SQUARE FEET

IN-GROUND SWIMMING POOL REQUIREMENTS (R-3)

MINIMUMS:	REQUIRED:	EXISTING:	PROPOSED:
POOL SIDE YARD SETBACK (to waters edge)	5 FT.**	16.9 FT.	16.9 FT.
POOL REAR YARD SETBACK (to waters edge)	5 FT.**	13.3 FT.	13.3 FT.
POOL WALKWAY SETBACK TO PROPERTY LINE	5 FT.	N/A	N/A

MAXIMUMS:	REQUIRED:	EXISTING:	PROPOSED:
IMPERVIOUS LOT COVERAGE	30%	38.9% ±	40.9% ± ***

* SEE IMPERVIOUS COVERAGE CALCULATIONS CHART
 ** FOR LOT WIDTH LESS THAN 80 FEET. (78.9' EX. LOT WIDTH)
 *** VARIANCE REQUIRED

LAWRENCE BROOK DRIVE

S 81°37'00" E 22.69'
 R=473.38'
 L=52.30'

BLOCK 11 TAX LOT 18
 (11,241 S.F.)

N 08°23'00" E 144.45'

S 02°03'00" W 129.92'

129.92'

S 86°51'00" W 91.06'

LOT 11

LOT 10

LOT 9

LOT 19

EXISTING 2-STORY DWELLING
 HOUSE No. 11

EX. WALKWAY

EX. PAVED DRIVEWAY

EX. A/C

EX. COVERED PORCH

EX. VINYL FENCE & GATE
 (SEE NOTE #13)

EX. PATIO (TBR)

PROP. IN-GROUND SWIMMING POOL
 (16' x 28')

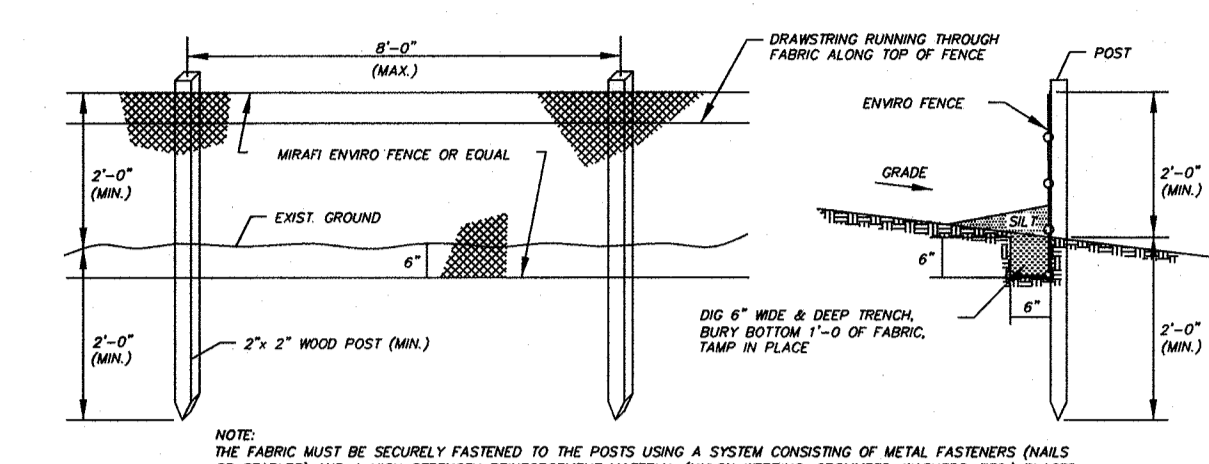
EX. PATIO

PROP. 4" PVC @ 1.00% MIN.
 (TYP.)

EX. 6" VINYL FENCE
 (SEE NOTE #13)

PROP. DRYWELLS

EX. 6" VINYL FENCE
 (SEE NOTE #13)



SILT FENCE DETAIL
 NO SCALE

Middlesex County, New Jersey

Douc—Downer-Urban land complex, 5 to 10 percent slopes

Map Unit Setting
 National map unit symbol: 4vg
 Elevation: 10 to 330 feet
 Mean annual precipitation: 28 to 58 inches
 Mean annual air temperature: 46 to 79 degrees F
 Frost-free period: 161 to 231 days
 Farmland classification: Not prime farmland

Map Unit Composition
 Downer and similar soils: 60 percent
 Urban land: 30 percent
 Minor components: 10 percent
 Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Downer

Setting
 Landform: Low hills
 Down-slope shape: Linear
 Across-slope shape: Linear
 Parent material: Loamy fluvio-marine deposits and/or gravelly fluvio-marine deposits

Typical profile
 A - 0 to 8 inches: loamy sand
 E - 8 to 13 inches: loamy sand
 B1 - 13 to 30 inches: sandy loam
 C - 30 to 60 inches: stratified gravelly sand to sandy clay loam

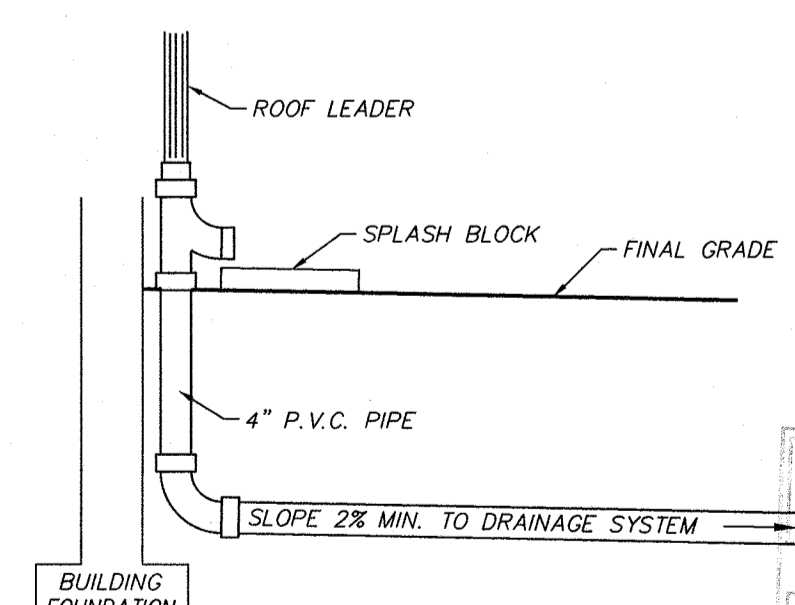
Properties and qualities

Slope: 5 to 10 percent
 Depth to restrictive feature: More than 80 inches
 Drainage class: Well drained
 Runoff class: Low
 Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.60 to 6.00 in/hr)
 Depth to water table: About 48 to 122 inches
 Frequency of flooding: None
 Frequency of ponding: None
 Available water supply: 0 to 60 inches: Low (about 5.5 inches)

Interpretive groups

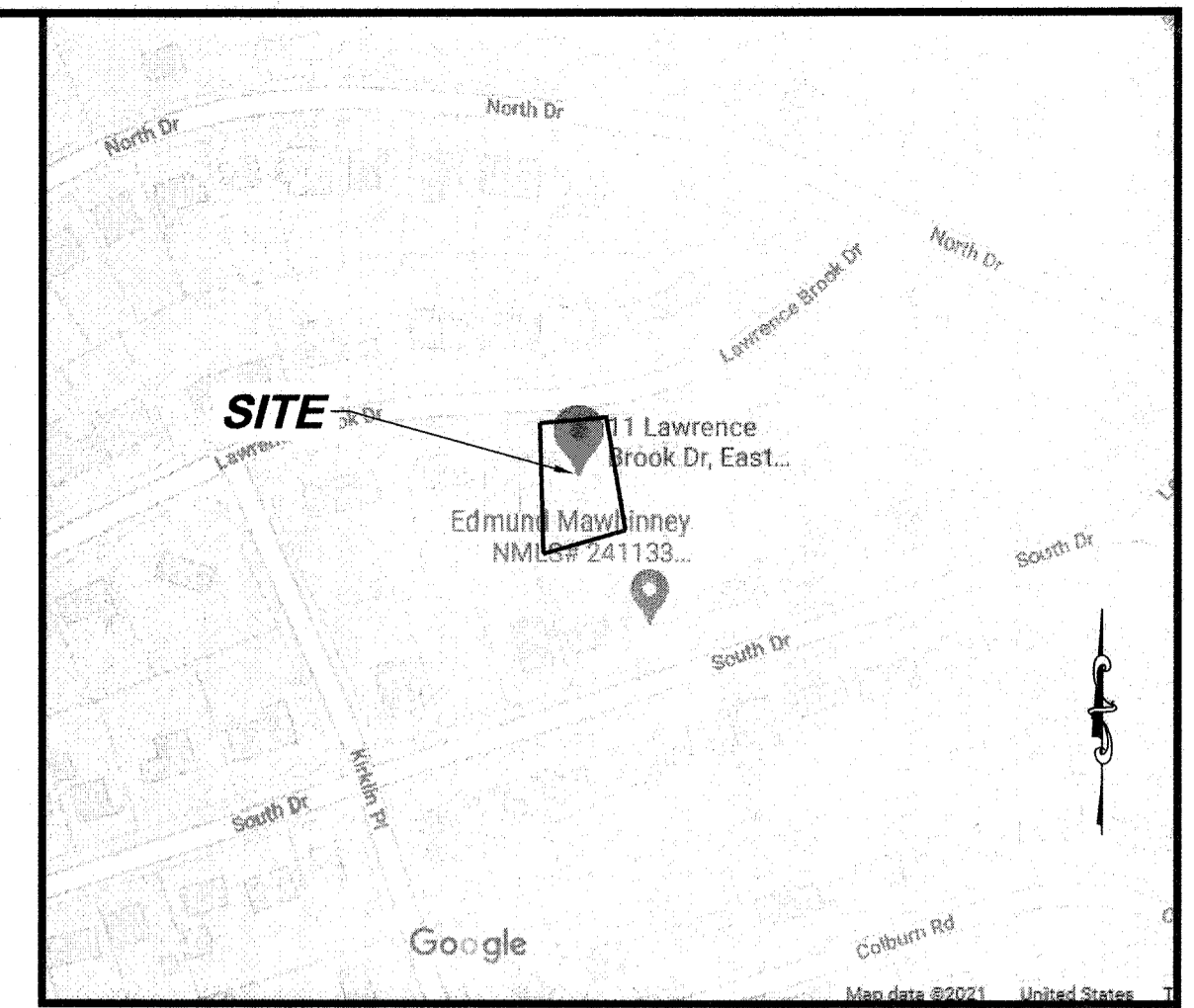
Land capability classification (irrigated): None specified
 Land capability classification (nonirrigated): 3e
 Hydrologic Soil Group: A
 Hydric soil rating: No

LNH Natural Resources Conservation Service
 Web Soil Survey National Cooperative Soil Survey



DOWNSPOUT DETAIL
 NO SCALE

SCALE: (1 Inch = 10 Feet)



LOCATION MAP

SCALE: (1 Inch = 200 Feet)

GENERAL NOTES

- PROPERTY BEING KNOWN AS BLOCK 132.02, TAX LOT 23 WITHIN THE TOWNSHIP OF EAST BRUNSWICK, MIDDLESEX COUNTY. THE PROPERTY CONTAINS APPROXIMATELY 11,241 S.F.
- OUTBOUND AND EXISTING SITE IMPROVEMENT INFORMATION IS BASED UPON A PLAN ENTITLED "SURVEY OF PROPERTY FOR LOT 18 IN BLOCK 11, TOWNSHIP OF EAST BRUNSWICK, MIDDLESEX COUNTY, NEW JERSEY", PREPARED BY LEO A. KALIETA & CO., DATED 2/1/22. TOPOGRAPHIC INFORMATION OBTAINED ON 8/8/2021 AND IS BASED UPON AN ASSUMED DATUM.
- THE PROPERTY LIES OUTSIDE OF THE 0.2% (500-YEAR) FLOOD HAZARD AREA (LIES WITHIN ZONE X UNSHADED) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 34023C0131F, EFFECTIVE DATE JULY 6, 2010.
- NO VERIFIED FRESHWATER WETLANDS ARE WITHIN THE AREA OF PROPOSED SITE DEVELOPMENT, AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NJ-GEOWEB SERVICE.
- THE SITE IS CURRENTLY DEVELOPED WITH A SINGLE-FAMILY RESIDENTIAL DWELLING, PAVED DRIVEWAY, PATIO AND OTHER ANCILLARY STRUCTURES & UTILITIES.
- PROPOSED IMPROVEMENTS CONSIST OF INSTALLING AN IN-GROUND SWIMMING POOL WITH WALKWAY AREA AND FILTER/POOL EQUIPMENT.
- PROPOSED SWIMMING POOL SIZE, SHAPE AND LOCATION ARE BASED UPON INFORMATION PROVIDED BY THE CLIENT.
- THE INTERIOR FACE OF THE SWIMMING POOL WALLS SHALL BE INSTALLED A MINIMUM OF 5 FEET FROM THE SIDE & REAR PROPERTY LINES.
- THE CONTRACTOR SHALL FINISH GRADE THE AREA AROUND THE IN-GROUND SWIMMING POOL AND DWELLING IN A MANNER WHICH PROVIDES POSITIVE OVERLAND STORMWATER RUNOFF/FLOW AWAY FROM THE POOL AND DWELLING.
- ALL AREAS NOT DESIGNATED FOR WALKWAY, FILTER EQUIPMENT AND/OR THE IN-GROUND SWIMMING POOL SHALL BE STABILIZED IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS OF THE LOCAL SOIL CONSERVATION DISTRICT.
- ALL EXISTING ON-SITE STRUCTURES ARE TO REMAIN AS PART OF THIS APPLICATION, UNLESS NOTED OTHERWISE.
- THE PROPOSED IN-GROUND SWIMMING POOL AND ASSOCIATED UTILITIES/AMENITIES SHALL COMPLY WITH THE CODE BOOK OF THE TOWNSHIP OF EAST BRUNSWICK AND THE INTERNATIONAL RESIDENTIAL CODE (IRC), NEW JERSEY EDITION, LATEST REVISED.
- THE PROPOSED POOL SHALL BE ENCLOSED BY A NON-CLIMBABLE BARRIER AT LEAST 4 FEET IN HEIGHT, WHICH IS EQUIPPED WITH A SELF-LOCKING MECHANISM ON ALL GATES, IN ACCORDANCE WITH TOWNSHIP AND IRC REGULATIONS, LATEST REVISED.
- NO SOILS INVESTIGATION HAS BEEN PERFORMED TO CLASSIFY SOIL CHARACTERISTICS OR DETERMINE THE SEASONAL HIGH GROUNDWATER ELEVATION.
- THE CONTRACTOR OR LAYOUT PARTY SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON THE JOB SITE AND SHALL VERIFY THAT THE PLANS BEING UTILIZED ARE FINAL AND APPROVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO ELEVATIONS AND/OR DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN PROVIDED.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER" UTILITIES NOT SHOWN ON THE PLAN EXIST WITHIN THE AREAS OF PROPOSED IMPROVEMENTS. SHOULD THERE BE "OTHER" UTILITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO ANALYZE ANY POTENTIAL UTILITY CONFLICTS.
- THE CONTRACTOR SHOULD CALL 1-800-272-1000 SEVEN (7) DAYS PRIOR TO EXCAVATION FOR FIELD MARK OUT OF UNDERGROUND UTILITIES.
- PRIOR TO STARTING SITE CLEARING/CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE ALL REQUIRED PERMITS/APPROVALS HAVE BEEN OBTAINED. ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND THE REQUIREMENTS AND STANDARDS OF THE PERMITTING AUTHORITY.
- IT IS ANTICIPATED A CARTRIDGE TYPE FILTER SHALL BE USED, WHICH DOES NOT REQUIRE BACKWASHING. IN THE EVENT BACKWASHING BECOMES NECESSARY, POOL BACKWASH SHALL BE DIRECTED TO THE STREET BY WAY OF A FLEXIBLE HOSE.



2-21-35

SWIMMING POOL PLAN
 TAX LOT 18 BLOCK 11
 11 LAWRENCE BROOK DRIVE
 EAST BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

MGC ASSOCIATES
 Consulting Engineer

Office Location:
 237-1 Burns Road
 Burlington, NJ 08016
 609-556-4915

GARY CHIANG
 N.J. Professional Engineer No. 44469

DATE: 8/8/21
 SCALE: 1"=10'
 SHEET: 1 OF 1
 JOB NUMBER: 210804

No.	Date	Revision	By	Chk.
2.	5/3/22	REV. TO PROVIDE DRYWELL	GC	
1.	9/21/21	REV. GRADING	GC	

File: C:\MGC\Auto\Lot18\18.dwg, Plot Date: 08/08/2022, 11:47 am, User: gchiang, Plot Scale: 1/8"=10', Plot Orientation: Landscape, Plot Size: 11x17, Plot Title: SWIMMING POOL PLAN, Plot Path: C:\MGC\Auto\Lot18\18.dwg, Plot Date: 08/08/2022, 11:47 am, User: gchiang, Plot Scale: 1/8"=10', Plot Orientation: Landscape, Plot Size: 11x17, Plot Title: SWIMMING POOL PLAN, Plot Path: C:\MGC\Auto\Lot18\18.dwg